

For CD Use Only

Pueblo West Committee of Architecture Approval

The PUEBLO WEST COMMITTEE OF ARCHITECTURE, INC. has reviewed project submittal on this date and has approved said plans for 243-2-5 subject to the conditions checked and noted herein:

- Submission of a stamped foundation plan to the PWCOA office prior to excavation.
- The approved landscaping plan (to include all area disturbed by construction), is complete by 9/12/20 and the landscaping, including natural areas, is maintained thereafter. Any land disturbed beyond the scope of the landscaping plan shall be reclaimed with ground cover approved by the PWCOA. Until the landscaping is complete, weeds will be cut and kept under control.
- The top of the evaporative cooler is located below the ridge to the rear of the roof and is colored to blend with the building.
- The propane tank is placed in accordance with the Uniform Fire Code and is screened from public view.
- All fences are constructed and maintained to provide a finished appearance to the outside, to include horizontal support boards and the vertical posts for a privacy fence to the inside of the property, top rail for chain link fences, exterior fence finish consistent in color, fence posts uniform in color and design. Screening is required to substantially block any view of material, equipment, or stored vehicles from any point located on a street or adjoining property adjacent to the site. A sight-obscuring fence at least six (6) feet in height is required around the material or equipment.
- The accessory building addition is colored to match the principal building and detached structures do not exceed 15' in height.
- Prior to any excavation work, the property lines and construction area shall be clearly marked and a lavatory placed on the site. Adjacent lots shall not be disturbed or damaged by construction traffic and equipment. All trash shall be contained, containers emptied when full, and the construction area and the surrounding lots be kept free of construction debris.
- Construction is completed within 180 days of the approval date of _____ **Submit a copy of the Certificate of Occupancy to CD upon completion of the project.**
- Construction of Sign is completed within 90 days 60 days of the approval date of 3/12/20.
- Additional provisions as follows:
 - that the sign be maintained and removed immediately if the business closes or relocates;
 - that a more detailed landscape plan be submitted by _____.
 - the light pole(s) do not exceed twenty (20) feet in height, are shaded to direct light downward, and are equipped with a switch(es).
 - screening is required to substantially block any view of material, equipment, or stored vehicles from any point located on a street or adjoining property adjacent to the site. A sight-obscuring fence at least six (6) feet in height is required around the material or equipment.
- OTHER: _____

Any item not listed and shown on elevations and plot plan is not included in this approval.

A Regional Building permit, if needed, shall be obtained and construction shall commence within 90 days of the Committee's approval. If the permit is not obtained, this approval will be void, and the applicant shall be required to reapply for approval, which includes full fee payment. The actual construction period shall not exceed **180 days** without committee approval. *Failure to comply with these time limitations automatically terminates Committee approval.* It is subject to compliance with the Rules and Regulations if the Committee and with the Recorded Declaration of Reservations, requirements of the County of Pueblo, and State Statutes.

★★★★ Any change in the approved plans and specifications will automatically revoke this approval. ★★★★★

Approved _____ by the PUEBLO WEST COMMITTEE OF ARCHITECTURE, INC.

date of approval

Authorized COA Signature

CD Use only

Addition • Garage • Storage Bldg • Fence • Sign • LS Ext. / Cor. / Rev. • Cnst. Ext. • Revision • _____



Pueblo West COLORADO

COMMUNITY DEVELOPMENT

OFFICE:
781 EAST INDUSTRIAL BLVD.
POST OFFICE BOX 7005
PUEBLO WEST, COLORADO 81007

The Pueblo West Declaration of Reservations can be found on line at pueblowestmetro.com.

COMMERCIAL / INDUSTRIAL BUILDINGS and ACCESSORIES PLAN APPLICATION and APPROVAL

Owner FREEMEN LLC Phone 512-789-8588

Property Address 78 N. PRECISIONS DR. PUEBLO WEST, CO. 81007

Property Location: Tract 243 Block 2 Lot(s) 5

Mailing Address (if different from above) _____

Contractor pulling permits PAINT OR BLDG. WRAP ONLY Phone 512-789-8588 GREG MILLER - OWNER

Address ABOVE

E-Mail Address GREG@RMISLAGE.COM

ONLY COMPLETE APPLICATIONS WILL BE REVIEWED BY THE COMMITTEE OF ARCHITECTURE

Plans will be accepted until 400 p.m. on deadline days. An application is complete ONLY if the following are included:

- ▶ **One (1) complete set for principle structure: No larger than 11" x 17"**
- ▶ **Plot Plan** indicating:
 - structure(s)
 - setbacks (to window wells)
 - lot lines and all easements recorded on the lot
 - access from the street
 - square footage per floor plan (minimum square footage requirements=threshold & up)
 - accessory area (where applicable)
 - designated parking area
 - location of trash container and screening plan
 - location of all accessory structures to be approved at this meeting and completed within the approved time frame
 - north arrow
 - location of outdoor storage (where applicable) and screening plan for that area.
- ▶ **Building floor plan**
- ▶ **Front, right, left, and rear elevations** indicating:
 - type and direction of exterior surfaces
 - windows and doors
 - proposed grade in relation to elevations, even on flat lots
 - basement plan showing walkouts and window wells
 - height - highest peak of roof to lowest proposed grade for that elevation
 - front, right, left and rear elevations of any accessory structures to be approved and built within the approval time
- ▶ **Proposed landscaping plan** indicating: all types of ground cover area (natural or imported), trees, shrubs, etc. Note that all ground disturbed during construction must be reclaimed, and therefore must be indicated on the plan. Landscaping plans should be very clear about ground reclamation, including dimensions.
- ▶ **Color sample swatch sets** indicating the proposed colors of the building exterior and trim(s). (Attach to plans.) Samples of black and white need not be included in samples, but should be written in on the application.

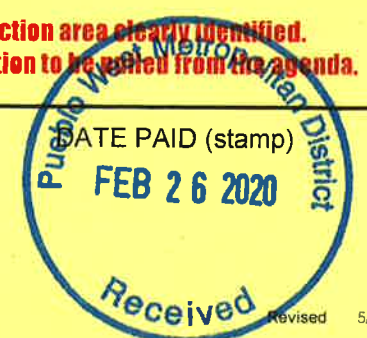
◆ One Copy only:

- ▶ **Proof of ownership** — copy of deed, title or tax records indicating tract, block and lot.
- ▶ Completed **current application**, with signature.
- ▶ **Appropriate payment** - check or cash.
 - ★★★ **Driveway Access approval required; applications available and fee payable to**
 - Pueblo West Department of Community Development, 781 E. Industrial Blvd, 547-9661
 - ★★★
- ▶ **Additional Items needed prior to excavation:** • One copy of stamped, engineered foundation plan.

★

IMPORTANT: All lots and buildings must be staked at the four corners and the construction area clearly identified. Failure to stake all corners by the Friday after the deadline may be cause for your application to be removed from the agenda.

| For Office Use | |
|---|---|
| AMOUNT <u>300.00</u> | <input type="checkbox"/> Resubmittal / Revision |
| <input type="checkbox"/> CHECK NO. <u>1550</u> | |
| <input type="checkbox"/> CASH - Receipt No. <u>182155</u> | EMPLOYEE <u>DL</u> |



Check all that apply to this application: ZONING _____

CORNER LOT

COMMERCIAL/INDUSTRIAL BUILDING

Type of business (check one):

- 58 Bars, without dining facilities
- 61 Hospital and Convalescent
- 64 Industrial Laundry
- 67 Market with Garbage Grinders
- 70 Repair Shop and Service Station
- 73 Soft Water Service

- 54 Auto Steam Cleaning
- 59 Car Wash
- 62 Hotel with Dining Facilities
- 65 Laundromat
- 68 Mortuary
- 71 Restaurant
- 74 All Others

- 57 Bakery, Wholesale
- 60 Department and Retail Stores
- 63 Hotel without Dining
- 66 Laundry, Commercial
- 69 Professional Office
- 72 School and College
- 75 Industrial

FACTORY BUILT

AIR CONDITIONER

TYPE OF HEAT

SEWER

CENTRAL

PROPANE

SEPTIC

EVAPORATIVE

NATURAL GAS

NONE

ELECTRIC

OTHER _____

SOLAR

OTHER _____

SQUARE FOOTAGE: TRACT REQUIREMENT: 43,560

Be sure the information in this box is also on the plot plan.

A. BUSINESS AREA* _____ B. GARAGE _____ C. TOTAL (A+B) _____

*from the threshold up

BUILDING HEIGHT** FRONT _____ RIGHT SIDE _____ LEFT SIDE _____ REAR _____

**from the lowest point of grade to highest part of roof ridge

SETBACKS APPLIED: FRONT _____ SIDES _____ REAR _____

SETBACKS REQUIRED: FRONT _____ SIDES _____ BACK _____

EXTERIOR SPECIFICATIONS (Please attach color sample to each set of elevations.)

| | MATERIAL | EARTHTONE COLOR |
|----------|----------|-----------------|
| Roof | METAL | YES |
| Exterior | METAL | |
| Trim | METAL | |
| Windows | GLASS | CLEAR |

Trim includes:
 Doors
 Garage Doors

LOCATION OF MECHANICAL EQUIPMENT VIEWABLE FROM EXTERIOR: REAR

CONSTRUCTION EXTENSION Anticipated Completion Date: COMPLETE

LANDSCAPE EXTENSION / CORRECTION Anticipated Completion Date: COMPLETE
BRIEFLY DESCRIBE THE NEED FOR THE EXTENSION/CORRECTION:

Color Change
 Exterior From: TAN To: FLAMES
 Trim From: TAN To: FLAMES
 Roof: From N/C To _____

OTHER STRUCTURES

to be approved with principal building and completed within the approval time limit

DETACHED GARAGE Square Footage N/A (threshold up) SETBACKS: Distance from building _____
Dimensions: Length _____ X Width _____ Rear _____ Sides: _____
Height: _____ (lowest point to highest roof peak) Type of Exterior Finish _____
Roof Color: _____ Material: _____ Exterior Color _____ Trim Color _____

ADDITION Square Footage N/A (threshold up) SETBACKS:
Dimensions: Length _____ X Width _____ Rear _____ Sides: _____
Height: _____ (lowest point to highest roof peak) Type of Exterior Finish _____
Roof Color: _____ Material: _____ Exterior Color _____ Trim Color _____

STORAGE BUILDING Square Footage N/A (threshold up) SETBACKS: Distance from Building _____
Dimensions: Length _____ X Width _____ Rear _____ Sides: _____
Height: _____ (lowest point to highest roof peak) Type of Exterior Finish _____
Roof Color: _____ Material: _____ Exterior Color _____ Trim Color _____

NOTE: Complete this section if any equipment or materials will be stored outside of a fully enclosed building.

FENCE(S) TYPE (Material**) N/A HEIGHT: _____
cedar, pine, split rail, chain link, vinyl, etc. TYPE (Material) _____ HEIGHT: _____

SIGN 1: Attached Free Standing Permanent Temporary Time the sign will be up: from _____ to _____
EXISTING POLE
Dimensions: Length 60' X Width 60' X Height 10' Setbacks: Front _____ Sides: _____
Colors: _____ Materials _____

SIGN 2: Attached Free Standing Permanent Temporary Time the sign will be up: from _____ to _____
N/A
Dimensions: Length _____ X Width _____ X Height _____ Setbacks: Front _____ Sides: _____
Colors: _____ Materials _____

LIGHTS Attached Free Standing EXISTING SETBACKS:
Type: 3 POLE IN PARKING LOT Rear _____ Sides: _____
Height: 30' (ground to highest point) Color _____

OTHER _____ SETBACKS: Distance from Building _____
Rear _____ Sides: _____
Dimensions: Length _____ X Width _____ Height: _____ (lowest point to highest roof peak)
Type of Exterior Finish _____ Roof Color: _____ Material: _____ Exterior Color _____ Trim Color _____

SIGNATURES I hereby confirm that the information contained in this filing is true and that all required documents submitted have been reviewed and verified as accurately depicting my development plans for this property.

X Date: 2/17/2020

X Bry Miller
Signature of Property Owner

X Date: _____

X _____
Signature of Property Contractor

**Freemen, LLC - GoRule, LLC
78 N. Precision Dr.
Pueblo, Co. 81007
719-647-0058**

February 17, 2020

Pueblo West Community Development
781 E. Industrial Blvd.
PO Box 7005
Pueblo West, Co 81007

Attn: Architectural Control

I am a partner of Freeman LLC who owns the building at 78 N. Precision Dr. in Pueblo West.

We lease this building to GoRule LLC dba Rocky Mountain Blaze, a recreational dispensary of which I am managing partner.

Enclosed please find our completed application with Site plan of this property and our check #1550 in the amount of \$300.

We would like permission to paint the front and right sides of our building with the enclosed "Flame" Design.

Thank you for your time and consideration. Please let me know if you need any additional information.

Sincerely,



Greg Miller
Freemen, LLC Partner
GoRule, LLC Managing Partner
(M) 512-789-8588



Heritage Organics Planned Unit Development

78 N. Precision Dr. Pueblo West, 81007

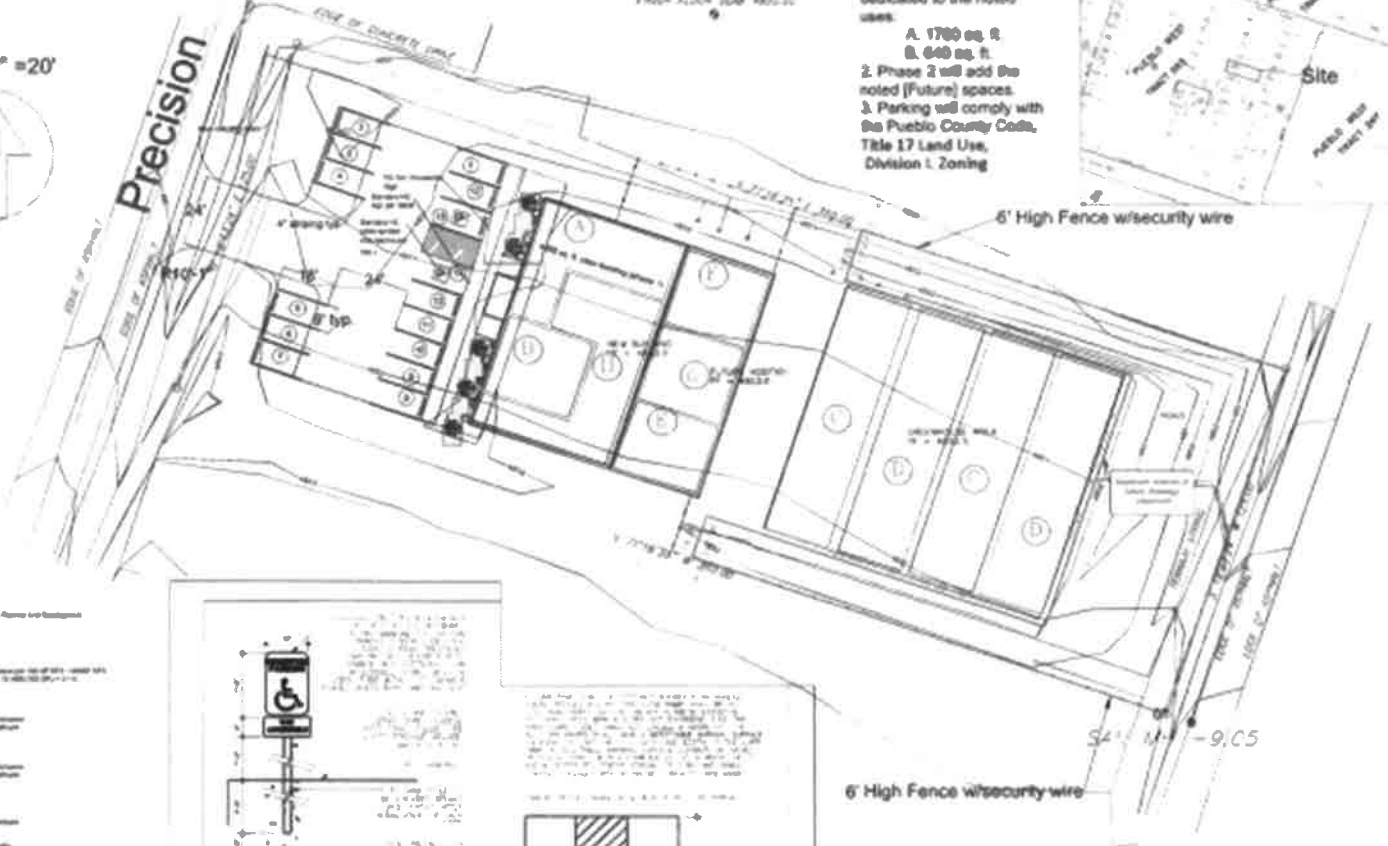
2. SITE MAP



- Drawing Notes:**
- Phase 1 construction will erect a 4160 sq ft building dedicated to the noted uses.
 - Phase 2 will add the noted (Future) spaces.
 - Parking will comply with the Pueblo County Code, Title 17 Land Use, Division 1. Zoning

- A. 1760 sq. ft.
- B. 640 sq. ft.

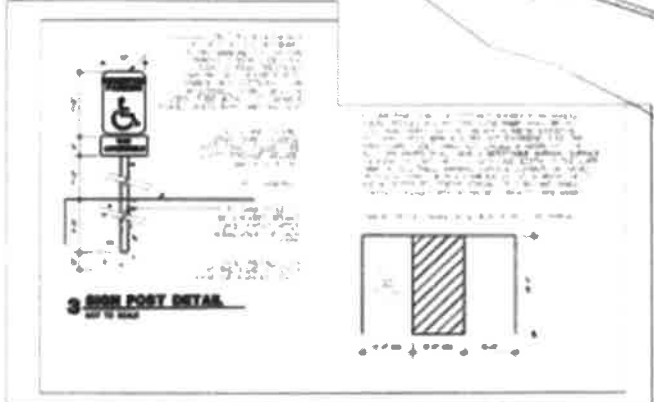
Scale 1" = 20'



- Legend:**
- A. Medical Marijuana Center
 - B. Recreational Marijuana Sales
 - C. Future Recreational Marijuana Center (200 sq ft)
 - D. Future Medical Marijuana (200 sq ft)
 - E. Future Recreational Marijuana (200 sq ft)
 - F. Future Recreational Marijuana (200 sq ft)
 - G. Future Recreational Marijuana (200 sq ft)
 - H. Future Recreational Marijuana (200 sq ft)

Notes:

1. All work shall be in accordance with the latest editions of the following codes and standards:
 - a. International Building Code (IBC)
 - b. International Fire Code (IFC)
 - c. International Mechanical Code (IMC)
 - d. International Plumbing Code (IPC)
 - e. International Electrical Code (NEC)
 - f. International Energy Conservation Code (IECC)
 - g. International Fire and Safety Code (IFSC)
 - h. International Fire and Alarm Code (IFAC)
 - i. International Fire and Sign Code (IFSC)
 - j. International Fire and Smoke Control Code (IFSCC)
 - k. International Fire and Access Code (IFAC)
 - l. International Fire and Alarm Code (IFAC)
 - m. International Fire and Sign Code (IFSC)
 - n. International Fire and Smoke Control Code (IFSCC)
 - o. International Fire and Access Code (IFAC)
2. All work shall be in accordance with the latest editions of the following codes and standards:
 - a. International Building Code (IBC)
 - b. International Fire Code (IFC)
 - c. International Mechanical Code (IMC)
 - d. International Plumbing Code (IPC)
 - e. International Electrical Code (NEC)
 - f. International Energy Conservation Code (IECC)
 - g. International Fire and Safety Code (IFSC)
 - h. International Fire and Alarm Code (IFAC)
 - i. International Fire and Sign Code (IFSC)
 - j. International Fire and Smoke Control Code (IFSCC)
 - k. International Fire and Access Code (IFAC)
 - l. International Fire and Alarm Code (IFAC)
 - m. International Fire and Sign Code (IFSC)
 - n. International Fire and Smoke Control Code (IFSCC)
 - o. International Fire and Access Code (IFAC)



| No. | Description | Date |
|-----|-------------|-----------|
| 1 | Issue | 10/1/2023 |
| 2 | Revised | 10/1/2023 |
| 3 | Revised | 10/1/2023 |
| 4 | Revised | 10/1/2023 |
| 5 | Revised | 10/1/2023 |
| 6 | Revised | 10/1/2023 |
| 7 | Revised | 10/1/2023 |
| 8 | Revised | 10/1/2023 |
| 9 | Revised | 10/1/2023 |
| 10 | Revised | 10/1/2023 |

Project Information:

Project Name: Heritage Organics Planned Unit Development
 Project Location: 78 N. Precision Dr. Pueblo, CO 81007

Project Number: PUD-2

Development Plan