

CD Use only

Addition • Garage • Storage Bldg • Barn • Fence • Patio Cover • Deck • LS Ext. / Rev. • Cnst. Ext. • Revision • _____



Pueblo West
COLORADO

**COMMUNITY
DEVELOPMENT**

**RESIDENTIAL ACCESSORY STRUCTURES / FENCES / EXTENSIONS / REVISIONS
PLAN APPLICATION and APPROVAL**

(To be used for properties where a residence is already established.)

Owner JOHN KOSOVICH Phone (303)601-7494

Property Address 270 E. PARKRIDGE DR.

Property Location: Tract 251 Block 12 Lot(s) 8

Mailing Address (if different from above) _____

OFFICE:
781 EAST INDUSTRIAL BLVD.
POST OFFICE BOX 7005
PUEBLO WEST, COLORADO 81007
719-547-9661

Contractor pulling permits CLEARLY BUILDING Phone (719) 547-2187

Address 653 E. ENTERISE DR.

ONLY COMPLETE APPLICATIONS WILL BE REVIEWED BY THE COMMITTEE OF ARCHITECTURE

Plans will be accepted until 4:00 p.m. on deadline days.

► 1 set of plans and 1 recorded plat map for all structures: No larger than 11 x 17

- **Plot Plan** indicating:
 - structure(s)
 - setbacks
 - lot lines
 - north arrow
 - location of all accessory structures in relation to existing structures and lot lines
 - all easements recorded on lot
- **Front, right, left, and rear elevations** indicating:
 - type and direction of exterior surfaces
 - windows and doors
 - proposed grade in relation to elevations
 - height - highest peak of roof to lowest proposed grade for that elevation
- **Color sample swatch sets** indicating the proposed colors of the building exterior and trim(s). Samples of black and white need not be included in samples, but should be written in on the application.
- **Proposed landscaping plan** indicating: any revisions in landscape plan and plans to reclaim all ground disturbed during construction. Landscaping plans should be very clear about ground reclamation, including dimensions.
- **Completed current application**, with owner and contractor signatures, (if contractor is pulling permit).
- **Appropriate payment** – check or cash

Landscape check: Staff Assigned _____ Date: _____

The landscaping is: Complete Some ground cover No ground cover Comments: _____

► **Driveway Access permits may be required if structures are over 200 sq. ft., and are required for carports, and 2nd accesses.**

Applications available and fee payable at Pueblo West Dept. of Community Development 781 E. Industrial Blvd., 547-9661

DATE PAID (stamp)

AMOUNT 200.00 **For Office Use only** Resubmittal / Revision

CHECK NO. 730576

CASH - Receipt No. _____ EMPLOYEE Sc

3/31/20

Check all that apply to this application:

Square footage of original structure 2664

ZONING A-3

YEAR ORIGINAL STRUCTURE APPROVED 1999

CORNER LOT

SINGLE-FAMILY RESIDENCE

MOBILE HOME

MULTI-FAMILY RESIDENCE

LOT CHANGE from _____ to _____ address _____
Tract Block Lot Tract Block Lot

PLOT PLAN REVISION SETBACKS APPROVED Front _____ Sides _____ Rear _____
NEW SETBACKS PROPOSED Front _____ Sides _____ Rear _____

CONSTRUCTION EXTENSION Anticipated Completion Date: _____
BRIEFLY DESCRIBE THE NEED FOR THE EXTENSION:

LANDSCAPE EXTENSION Anticipated Completion Date: _____
BRIEFLY DESCRIBE THE NEED FOR THE EXTENSION:

LANDSCAPE REVISION Anticipated Completion Date: _____
BRIEFLY DESCRIBE THE NEED FOR THE REVISION:

COLOR CHANGE

<input type="checkbox"/> Exterior: From _____	<input type="checkbox"/> Roof: From _____
To _____	To _____
<input type="checkbox"/> Trim: From _____	<input type="checkbox"/> Windows: From _____
To _____	To _____

Trim includes: Doors Garage Doors

SIGN: Permanent Temporary Time Sign will be up: from _____ to _____
 Attached: Dimensions: Length _____ X Width _____ X Height _____ Lighted: Yes No
 Free Standing: Dimensions: Length _____ X Width _____ X Height _____ Lighted: Yes No
Setbacks: Front _____ Sides: _____

Colors: _____ Material(s) _____

OTHER STRUCTURES (lot must have an existing residence)

ADDITION

Dimensions: Square Footage _____ (threshold up)

SETBACKS:

Rear _____ Sides: _____

Height: _____ (lowest point to highest roof peak) Type of Exterior Finish _____

Roof Color: _____ Material: _____ Exterior Color _____ Trim Color _____

DETACHED GARAGE

Garage attached with wall, etc.

SETBACKS: Distance from House _____

Dimensions: Length _____ X Width _____ Sq. Ft. _____ Rear _____ Sides: _____

Height: _____ (lowest point to highest roof peak) Type of Exterior Finish _____

Roof Color: _____ Material: _____ Exterior Color _____ Trim Color _____

CARPORT

Attached

Detached

SETBACKS: Distance from House _____

Dimensions: Length _____ X Width _____ Sq. Ft. _____ Rear _____ Sides: _____

Height: _____ (lowest point to highest roof peak) Type of Exterior Finish _____

Roof Color: _____ Material: _____ Exterior Color _____ Trim Color _____

STORAGE BUILDING

Dimensions: Length 48 X Width 36 Sq. Ft. 1728 Rear 135' Sides: 20' 115'

SETBACKS: Distance from House 47'

Height: 18'4" (lowest point to highest roof peak) Type of Exterior Finish STEEL

Roof Color: Burnish Slate Material: STEEL Exterior Color Mojave Tan Trim Color Burnish Slate

BARN

SETBACKS: Distance from House (minimum 50') _____

Dimensions: Length _____ X Width _____ Sq. Ft. _____ Rear _____ Sides: _____

Height: _____ (lowest point to highest roof peak) Type of Exterior Finish _____

Roof Color: _____ Material: _____ Exterior Color _____ Trim Color _____

PATIO/PORCH COVER

SETBACKS:

Dimensions: Length _____ X Width _____ Sq. Ft. _____ Rear _____ Sides: _____

Height: _____ (lowest point to highest roof peak) Type of Exterior Finish _____

Roof Color: _____ Material: _____ Exterior Color _____ Trim Color _____

DECK

SETBACKS:

Dimensions: Length _____ X Width _____ Sq. Ft. _____ Rear _____ Sides: _____

FENCE(S)

TYPE (Material**) _____ HEIGHT: _____

cedar, pine, split rail, chain link, vinyl, etc. TYPE (Material) _____ HEIGHT: _____

OTHER

SETBACKS: Distance from House _____

Rear _____ Sides: _____

Dimensions: Length _____ X Width _____ Height: _____ (lowest point to highest roof peak)

Type of Exterior Finish _____ Roof Color: _____ Material: _____ Exterior Color _____ Trim Color _____

SIGNATURES

I hereby confirm that the information contained in this filing is true and that all required documents submitted have been reviewed and verified as accurately depicting my development plans for this property.

X Date: 3/31/20

X John Korwin
Signature of Property Owner

X Date: 3/31/20

X [Signature]
Signature of Property Contractor

Pueblo West Committee of Architecture Approval

The PUEBLO WEST COMMITTEE OF ARCHITECTURE, INC. has reviewed subject submittal on this date and has approved said plans for 25-12-8 subject to the conditions checked and noted herein:

- 1. Submission of a stamped foundation plan to the PWCD office prior to excavation (additions, garages, if appropriate).
- 2. The approved landscaping plan (to include at least twenty-five (25) feet around the house, and all area disturbed by construction, is complete by 10/9/20 and the landscaping, including natural areas, is maintained thereafter. Any land disturbed beyond the scope of the landscaping plan shall be reclaimed with ground cover approved by the PWCOA. Until the landscaping is complete, weeds will be cut and kept under control.
- 2a. The approved landscaping plan for the entire lot is complete by _____, and the landscaping is maintained thereafter. Until the landscaping is complete, weeds will be cut and kept under control.
- 5. The horizontal support boards and the vertical posts for the fence are constructed to the inside of the property, or in a shadow box manner.
- 7. The accessory building addition is colored to match the dwelling and detached structures do not exceed ~~15'~~^{30'} in height.
- 8. Prior to any excavation work, the property lines and construction area shall be clearly marked and a lavatory placed on the site. Adjacent lots shall not be disturbed or damaged by construction traffic and equipment. All trash shall be contained, containers emptied when full, and the construction area and the surrounding lots be kept free of construction debris.
- 9. Construction is completed within 180 days 90 days 60 days of the approval date of 4/9/20.

11. Additional provisions as follows:

a. that a more detailed landscape plan be submitted by _____.

OTHER: The building is required to have at least 6" overhangs or gutters.

Any item not listed and shown on elevations and plot plan is not included in this approval.

A Regional Building permit, if needed, shall be obtained and construction shall commence within 30 days of the Committee's approval. If the permit is not obtained, this approval will be void, and the applicant shall be required to reapply for approval, which includes full fee payment. The actual construction period shall not exceed the approval time shown above without committee approval. Failure to comply with these time limitations automatically terminates Committee approval. It is subject to compliance with the Rules and Regulations of the Committee and with the Recorded Declaration of Reservations, requirements of the County of Pueblo, and State Statutes.

★★★★ Any change in the approved plans and specifications will automatically revoke this approval. ★★★★★

Approved _____ by the PUEBLO WEST COMMITTEE OF ARCHITECTURE, INC.
date of approval

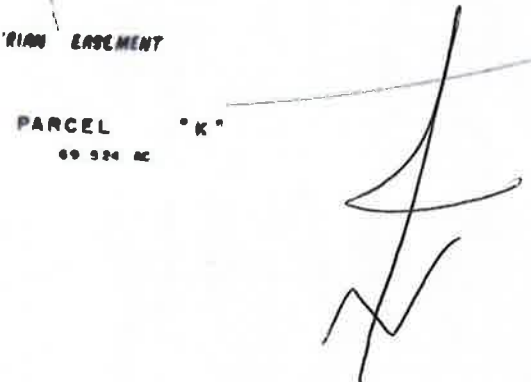
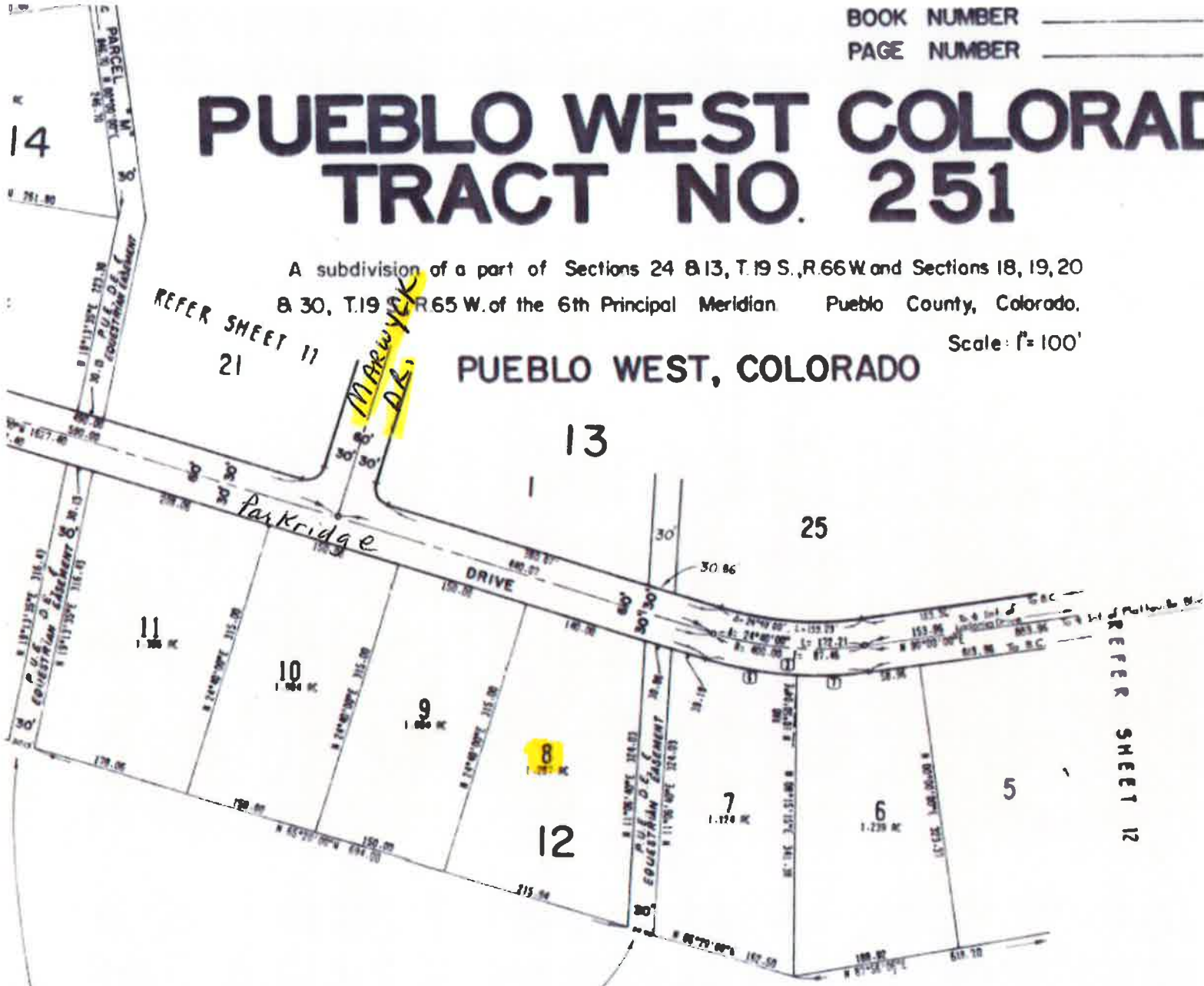
Authorized COA Signature

PUEBLO WEST COLORADO TRACT NO. 251

A subdivision of a part of Sections 24 & 13, T.19 S., R.66 W. and Sections 18, 19, 20 & 30, T.19 S., R.65 W. of the 6th Principal Meridian Pueblo County, Colorado.

Scale: 1" = 100'

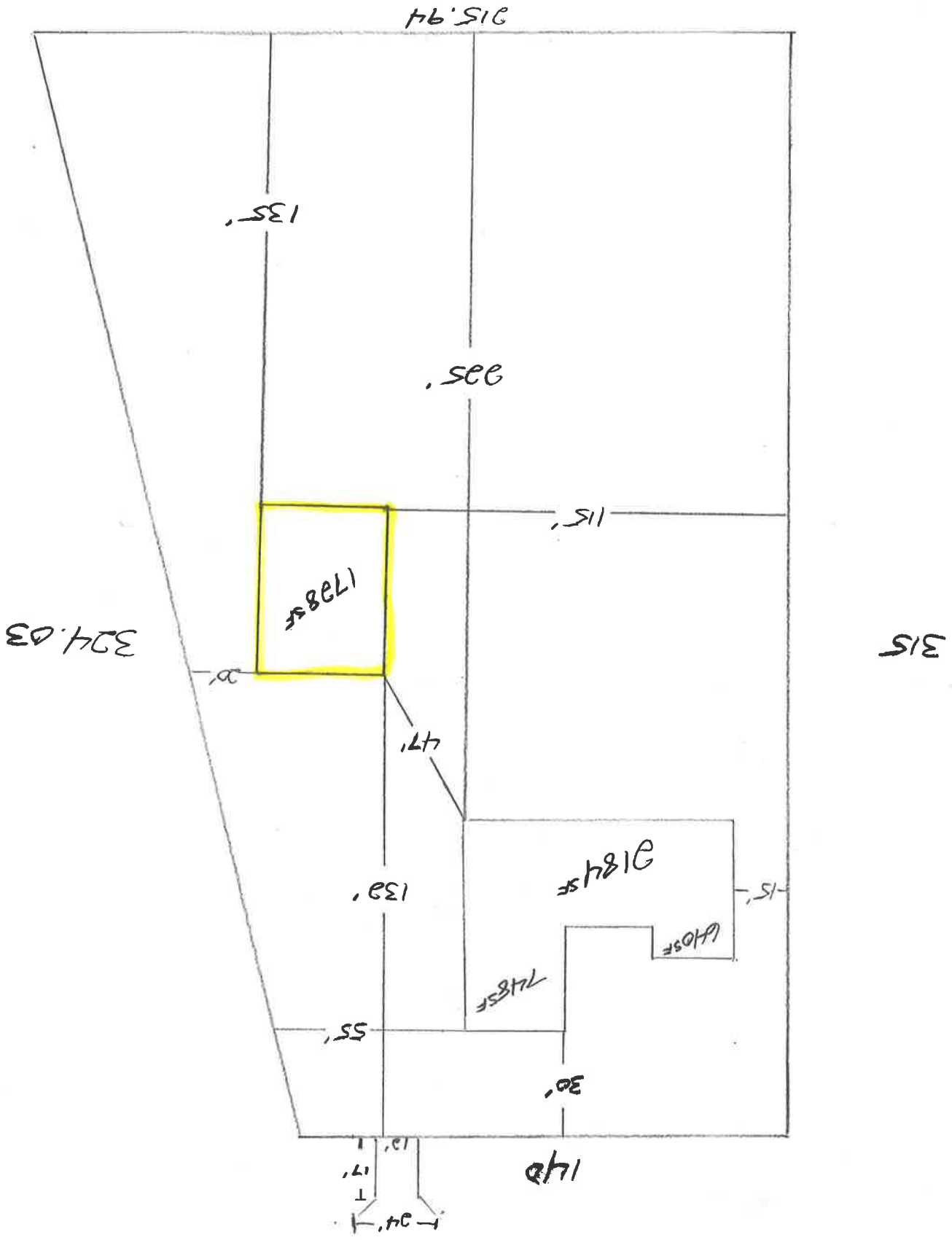
PUEBLO WEST, COLORADO



CURVE TABLE

NO	RADIUS	DELTA	ARC LGT	CHORD
1	20.00	90°00'00"	31.42	20.00
2	300.00	24°40'00"	129.15	65.60
3	400.00	24°40'00"	165.12	94.02
4	1000.00	2°00'00"	71.40	35.71
5	270.00	24°40'00"	130.29	59.03
6	400.00	12°40'00"	100.01	52.18
7	400.00	10°00'00"	81.31	40.78
8	300.00	24°40'00"	100.60	63.06
9	300.00	24°40'00"	131.76	69.67
10	330.00	24°40'00"	140.07	72.15
11	600.00	2°00'00"	35.44	17.72

Parkridge Dr.



Scale 1" = 40'

Plot Plan

Parcel # 9624006003

Trk 251
Blk 1D
Lot 8

NO.	DATE	BY
1		
2		
3		
4		

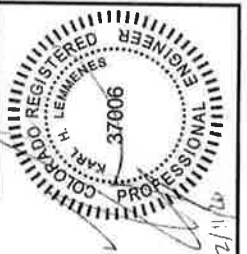
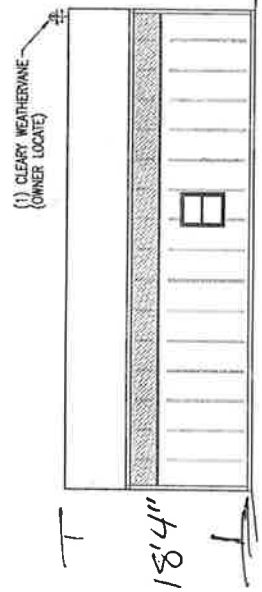
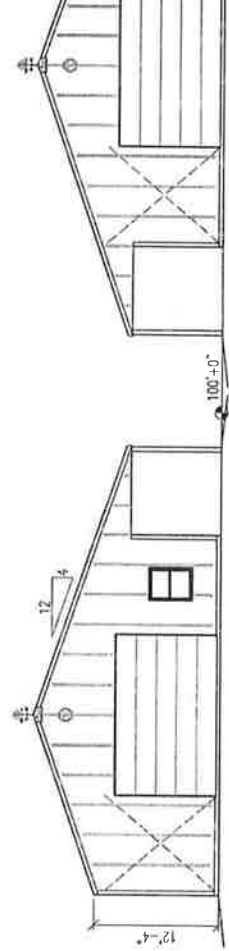


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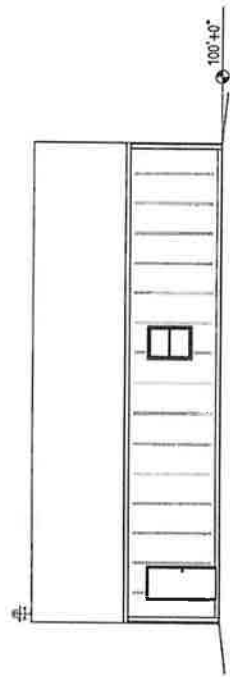
- 110. ELEVATIONS
- 120. FLOOR PLAN
- 130. TYPICAL SECTION "A"
- 131. TYPICAL SECTION "B"
- 140. DIAGONAL BRACING DETAILS
- 150. DIAPHRAGM ACTION and MISC. DETAILS
- 160. TRUSS DIAGRAMS



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

WEST ELEVATION

GENERAL NOTES AND SPECIFICATIONS

1. The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to those materials and labor as defined by the Cleary Building Corp. contract. Materials, labor, or accessories that are not being provided by Cleary Building Corp. may be shown on plans for contact or building code compliance.
2. This building is designed in accordance with the following codes and specifications:
 2015 Edition of National Design Specifications for Wood Construction*
 Use Group(s) Classification: U
 Building Use: Storage
 Type of Construction: Type VB
 Building Gross Square Footage: 1,728 Sq. Ft.
 Building Design Loads:
 Design Snow Load: 37.7 PSF Total Load
 Design Snow Load: 37 PSF Ground Snow Load (Pg)
 Design Wind Speed: 115 MPH (EXP C)
 Seismic Use Group: I
 Seismic Design Category: B
 Maximum Considered Earthquake Ground Motion for:
 0.2 Second Spectral Response (Sa): 0.82g
 1.0 Second Spectral Response (S1D): 5.76g

3. All lumber, unless noted otherwise, shall be S4S #2 SPF or better. All lumber embedded in the ground shall be treated with Chromicled Copper Azoxides to a retention level of .60 lbs. per cubic foot.
4. Grading should be such that the surface water is drained away from the foundation. Minimum grade would be six inches of vertical drop per ten feet of horizontal away from the foundation (3%).
5. Fill used for concrete floor slab sub grade, if present, shall be reasonably graded granular material. Fill used in columns holes shall be the excavated soil unless noted otherwise. All fill shall be free from debris, stones over 4" and frozen material.
6. Electrical work is not a part of this drawing and shall be installed as per applicable codes.
7. Heating, ventilating, and air conditioning work is not a part of this drawing and shall be installed as per applicable codes.
8. Plumbing work is not a part of this drawing and shall be installed as per applicable codes.
9. All nails are to be threaded hardened steel unless otherwise noted.

10. This design is based on a building site with sand, silt and clay soil, city grade, clay gravel, clayey gravel soil. As per the IRC building code and referenced Standard ASCE 7-10, an assumed soil bearing design value of 1500 psf with increase for depth and width has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

NOTE:
 This building, as depicted, must be constructed 10 feet or more from any and all lot lines and 20 feet or more from any and all buildings on the same lot. See IRC code and/or this local building article for exceptions.

NOTE:
 This document, as presented and sealed, is not intended to be, nor should it be, construed as such, a complete building design. It is intended to represent just the building itself. The design of the electrical, mechanical, plumbing, and fire protection systems are excluded from this plan. It should also be noted that the design of the foundation and other structural elements are excluded from this plan. The designer excludes determination of the assumed soil conditions are present at the site. If a concrete floor will be installed, the design of the concrete floor is not part of these plans, nor is it intended to be. If shown, the concrete floor is only depicted to show its location with respect to related structural elements. The client or general contractor is encouraged to consult with other professional engineers or architects for the design of the concrete floor and its subgrade.